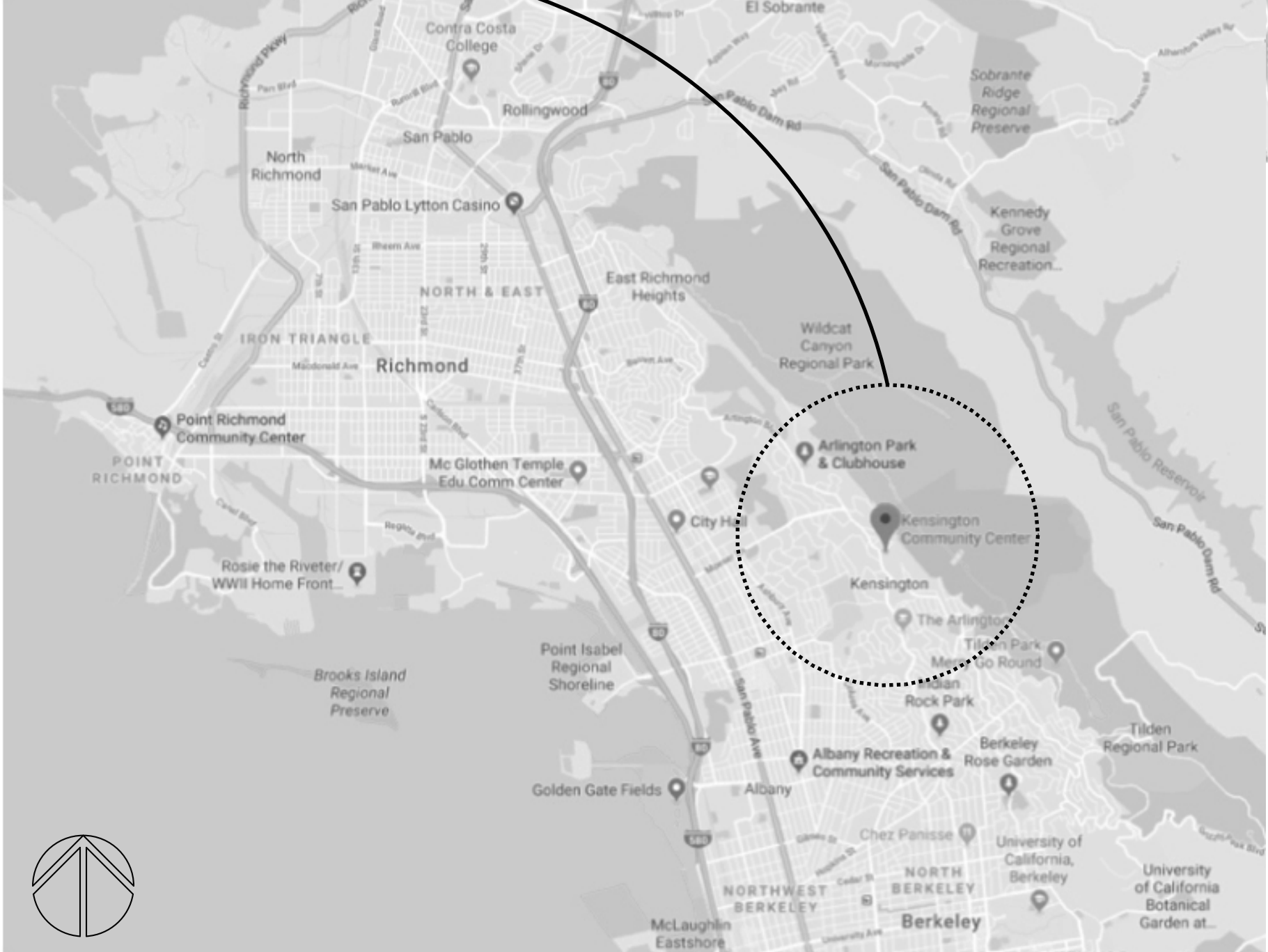


VICINITY MAP



LOCATION MAP



PROJECT SCOPE SUMMARY	CODE INFORMATION
SEISMIC RETROFIT, ADA UPGRADES AND ENERGY UPGRADES TO AN EXISTING COMMUNITY CENTER BUILDING (APPROX. 4430 S.F.), ORIGINALLY BUILT IN 1955 OF CMU CONSTRUCTION WITH A 1988 ADDITION IN WOOD CONSTRUCTION. SCOPE OF WORK INCLUDES SITE UPGRADES RELATING TO ADA PARKING AND PATH OF TRAVEL, AND REPAIR OF HARDSCAPE/LANDSCAPE EFFECTED BY NEW WORK. SCOPE OF WORK DOES NOT INCLUDE ADDITION OF ANY NEW SQUARE FOOTAGE.	OCCUPANCY: A-3 SETBACKS: EXISTING FLOOR AREA: 4430 S.F. NEW FLOOR AREA: 4430 S.F. (NONE ADDED) BUILDING HEIGHT: 14' - 4" CONSTRUCTION: TYPE V-B

PROJECT DIRECTORY

OWNER
Kensington Police Protection & Community Services District

Tony Costantouros, General Manager
217 Arlington Avenue
Kensington, CA 94707
TCostantouros@kppcsd.org
510-526-4141

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wrglass@glassarchplan.com
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The Niles District
Fremont, CA 94536
Attn: Paul Welshmeyer, AIA, Principal
paul@pwaec.com
510-825-0783

BEFORE & AFTER VIEWS



Existing Building



Proposed Entry Cover/Canopy

Proposed Folding Door Window Wall

Proposed Revisions

DRAWING INDEX

SHEET NO.	SHEET NAME	SHEET NO.	SHEET NAME
G0.01	COVER SHEET - DRAWING INDEX, LOCATION MAP, VICINITY MAP & PROJECT DIRECTORY	A1.01	EXISTING FLOOR PLAN
C0.00	SURVEY	A1.04	REVISED FLOOR PLAN
C0.01	SITE PLAN	A1.05	CLERESTORY AND LOWER ROOF PLAN
C1.01	SITE DEMOLITION PLAN	A1.06	UPPER ROOF PLAN
C1.02	SITE GRADING AND PAVING	A2.01	BUILDING SECTIONS
G2.01	SITE PATH OF TRAVEL	A3.01	EXTERIOR ELEVATIONS
		A3.02	EXTERIOR ELEVATIONS

Seismic Upgrades and Building Alterations

Kensington Community Center

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Use Permit Application
5-30-18

INDEX, LOCATION MAP, SCOPE SUMMARY, CODE INFORMATION, BEFORE & AFTER VIEWS, VICINITY MAP & PROJECT DIRECTORY

LICENSE STAMP

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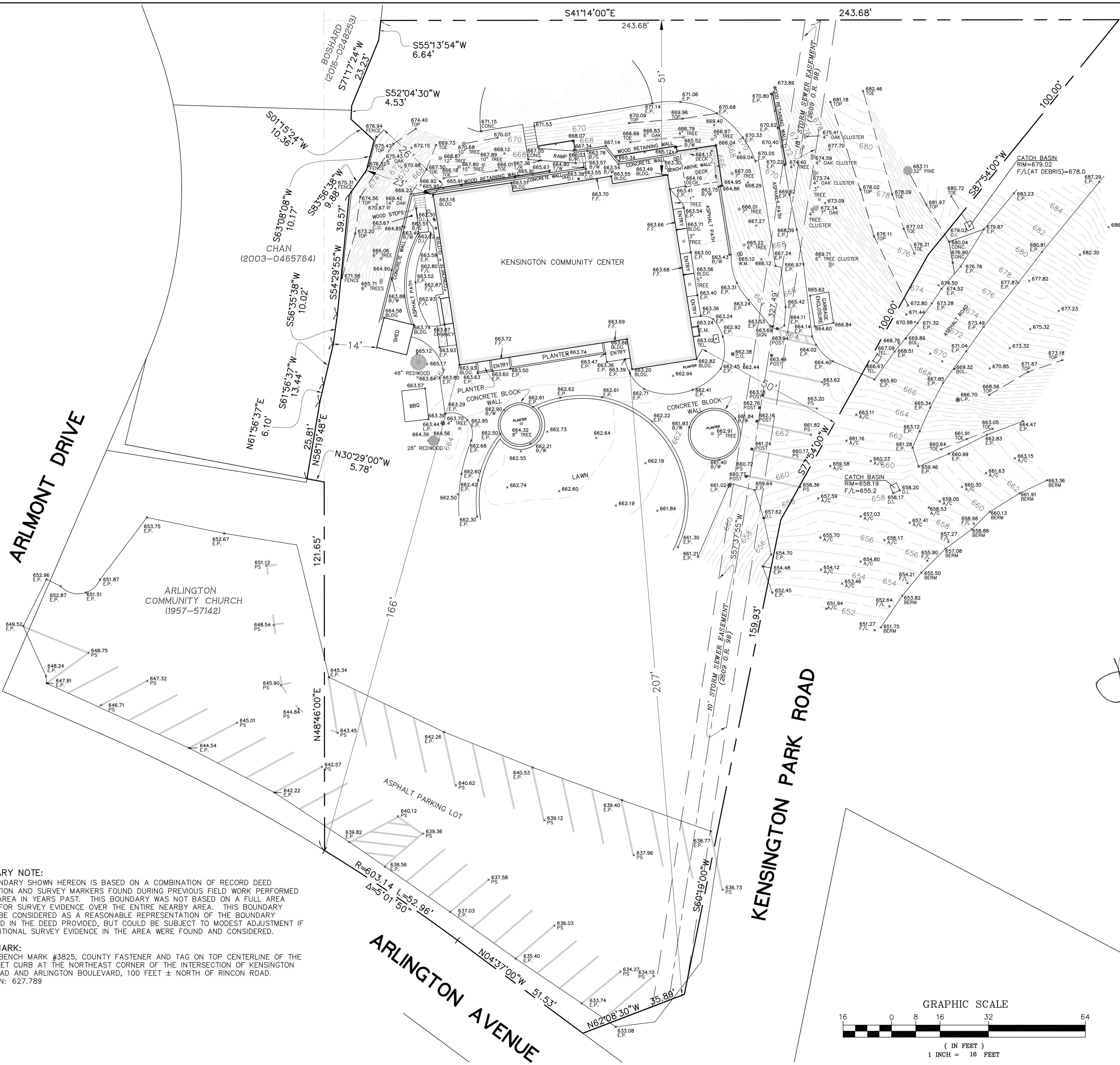
Date 03/30/18 Sheet

Scale NONE

Drawn WRG/FD

Job

G0.01



- LEGEND
- A/C ASPHALT/CONCRETE
 - B/R BASE OF RAMP
 - B/S BASE OF STEPS
 - B/W BASE OF WALL
 - BLDG. BUILDING
 - BOL. BOLLARD
 - C.O. CLEAN OUT
 - CONC. CONCRETE
 - D.I. DRAIN INLET
 - E.M. ELECTRIC METER
 - E.P. EDGE OF PAVEMENT
 - F.F. FINISHED FLOOR
 - F/L FLOWLINE
 - L.P. LIGHT POLE
 - PS PARKING STRIPE
 - S/W SIDEWALK
 - T/R TOP OF RAMP
 - T/W TOP OF WALL
 - TEL. TELECOMMUNICATIONS
 - TOE TOE OF BANK
 - TOP TOP OF BANK
 - UN UNKNOWN UTILITY
 - W.M. WATER METER
- CONCRETE
 - ASPHALT
 - CONCRETE WALL
 - BUILDING

BOUNDARY NOTE:
THE BOUNDARY SHOWN HEREON IS BASED ON A COMBINATION OF RECORD DEED INFORMATION AND SURVEY MARKERS FOUND DURING PREVIOUS FIELD WORK PERFORMED IN THIS AREA IN YEARS PAST. THIS BOUNDARY WAS NOT BASED ON A FULL AREA SEARCH FOR SURVEY EVIDENCE OVER THE ENTIRE NEARBY AREA. THIS BOUNDARY SHOULD BE CONSIDERED AS A REASONABLE REPRESENTATION OF THE BOUNDARY DESCRIBED IN THE DEED PROVIDED, BUT COULD BE SUBJECT TO MODEST ADJUSTMENT IF ANY ADDITIONAL SURVEY EVIDENCE IN THE AREA WERE FOUND AND CONSIDERED.

BENCHMARK:
COUNTY BENCH MARK #3825, COUNTY FASTENER AND TAG ON TOP CENTERLINE OF THE DROP INLET CURB AT THE NORTHEAST CORNER OF THE INTERSECTION OF KENSINGTON PARK ROAD AND ARLINGTON BOULEVARD, 100 FEET ± NORTH OF RINCON ROAD. ELEVATION: 627.789

TOPOGRAPHIC SURVEY

KENSINGTON COMMUNITY CENTER
LOCATED AT 59 ARLINGTON AVENUE
CITY OF KENSINGTON, COUNTY OF CONTRA COSTA, CALIFORNIA

MAY 18, 2018 SCALE: 1" = 16'

MORAN ENGINEERING, INC.

CIVIL ENGINEERS \ LAND SURVEYORS
1930 SHATTUCK AVENUE, SUITE A
BERKELEY, CALIFORNIA 94704
(510) 848-1930

C0.00

F.B. NO. 1680 KCC-TOPO.DWG JOB 18-9896

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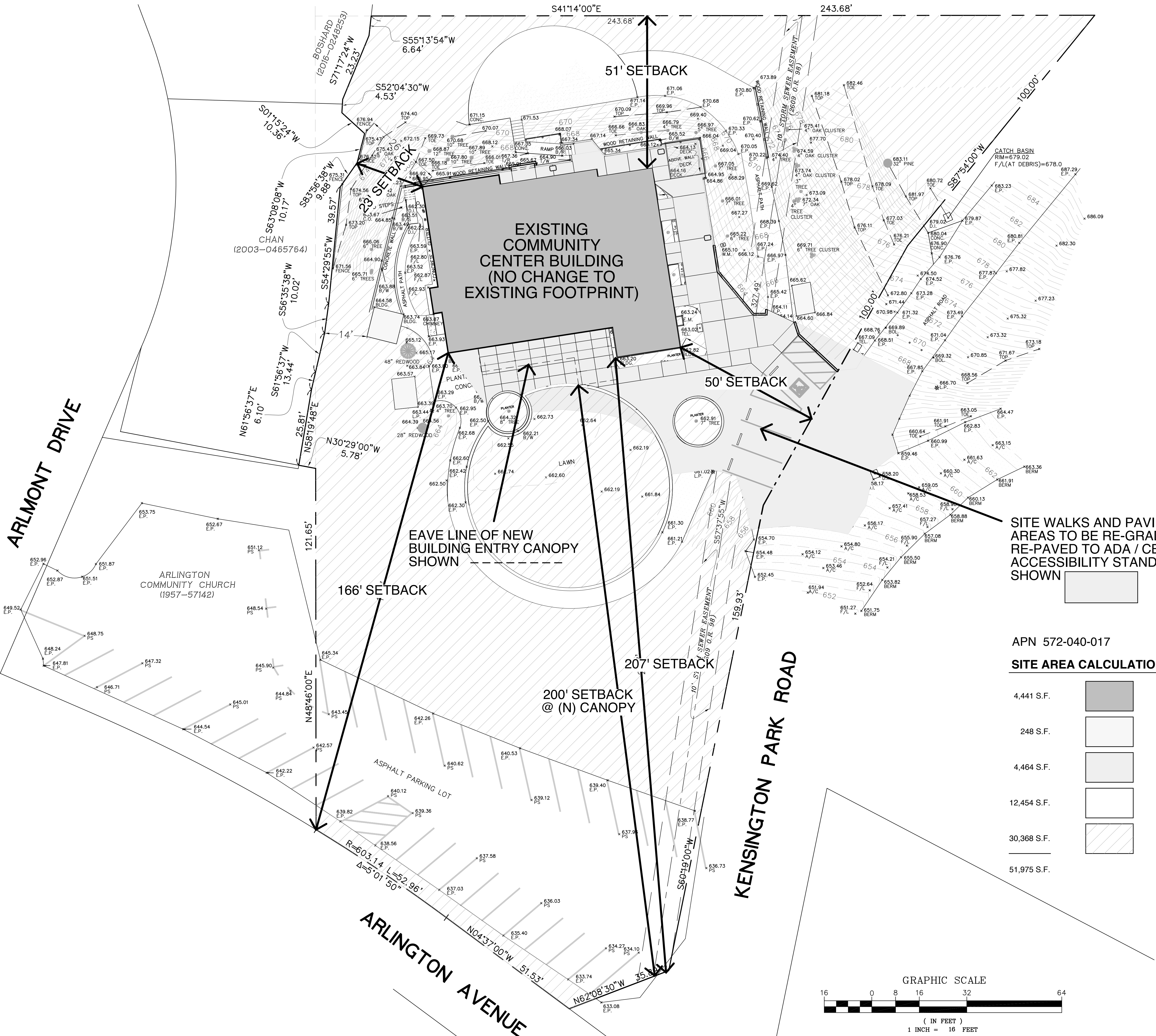
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SITE PLAN

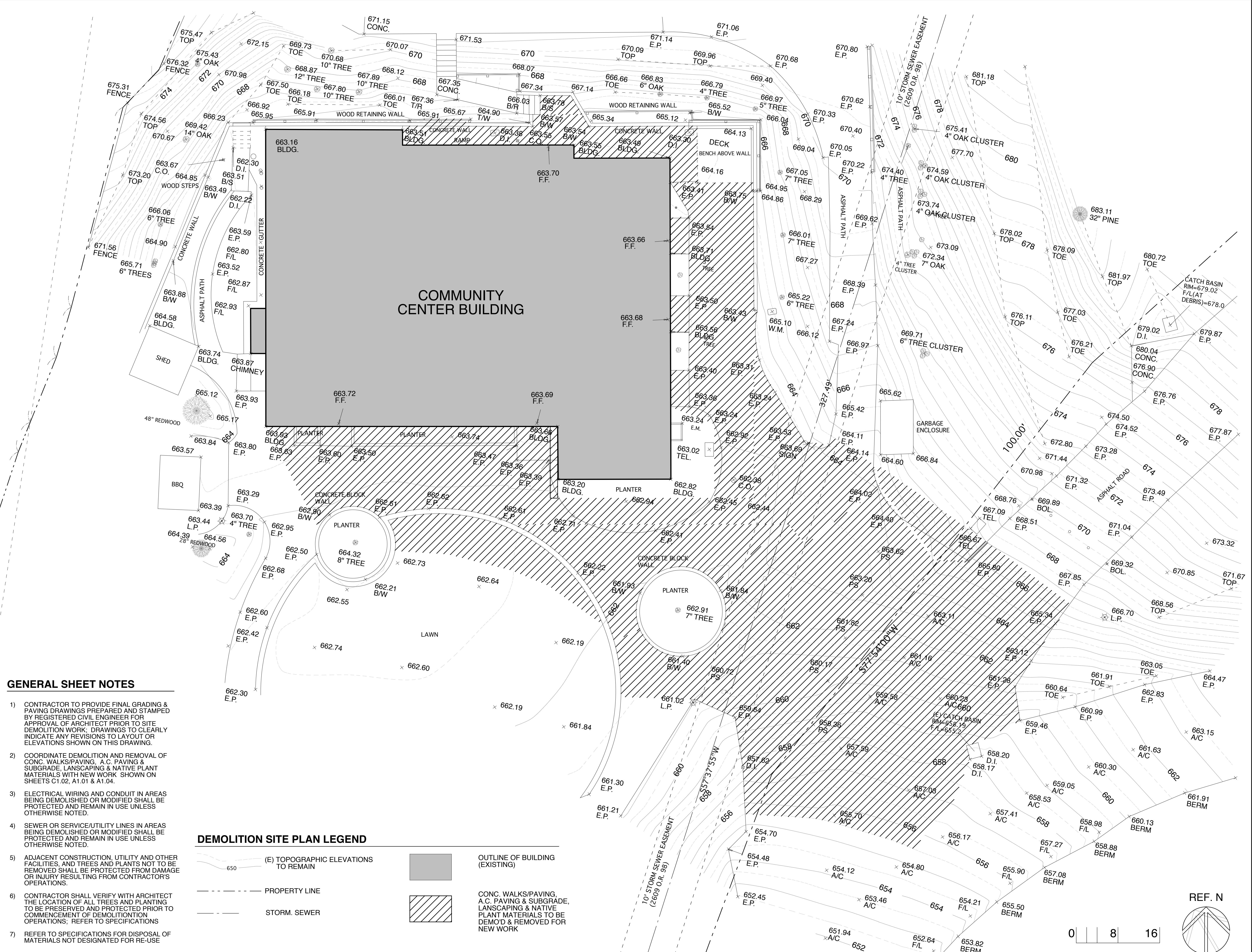
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Date	02/23/18	Sheet	C0.01
Scale	1/16" = 1'-0"		
Drawn	WRG/FD		
Job			



SITE WALKS AND PAVING
AREAS TO BE RE-GRADED &
RE-PAVED TO ADA / CBC
ACCESSIBILITY STANDARDS
SHOWN



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EXISTING SITE & DEMOLITION PLAN

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Date	02/23/18	Sheet	C1.01
Scale	1/4" = 1'-0"	Drawn	WRG/FD
Job			

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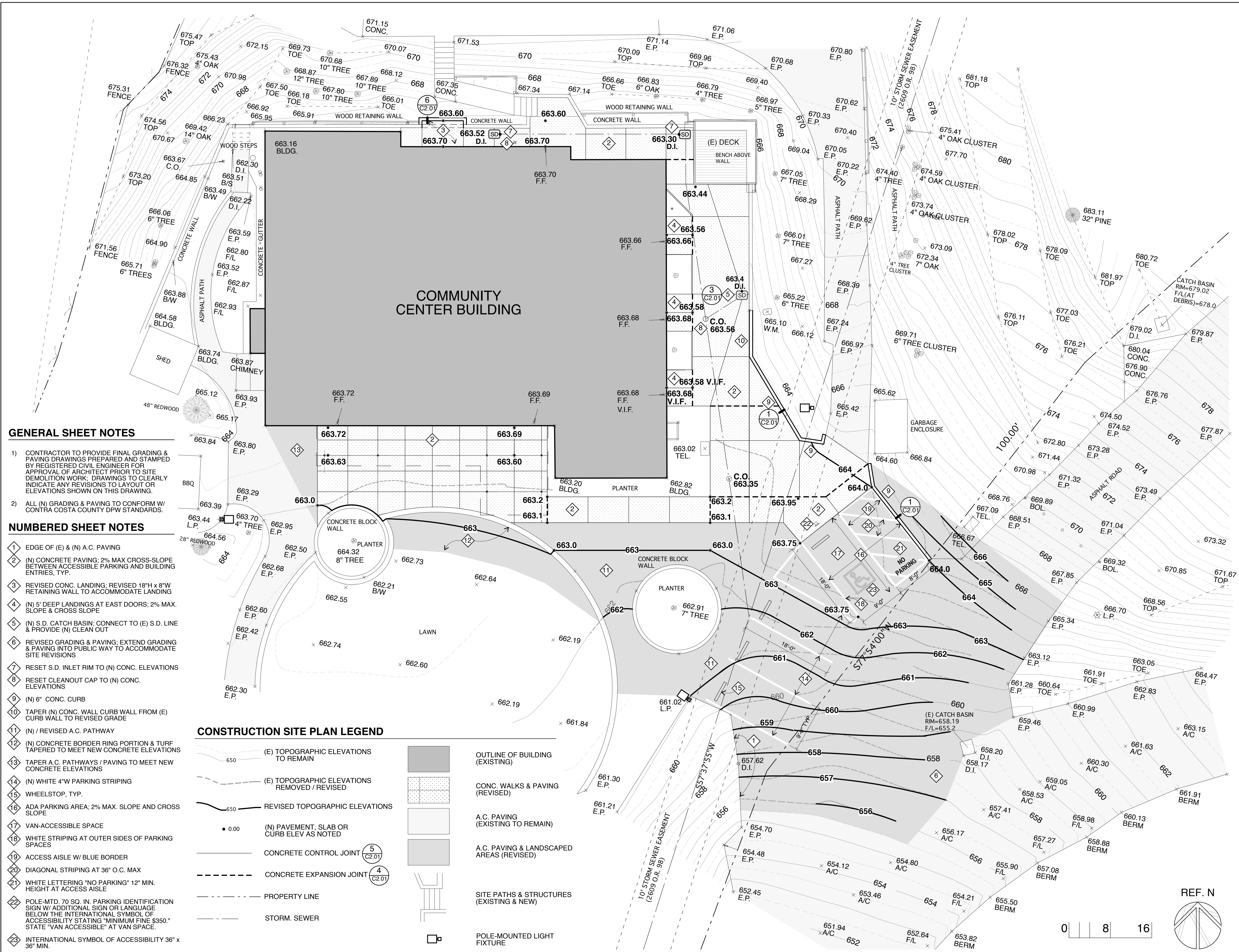
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SITE CONSTRUCTION PLAN

[illegible]

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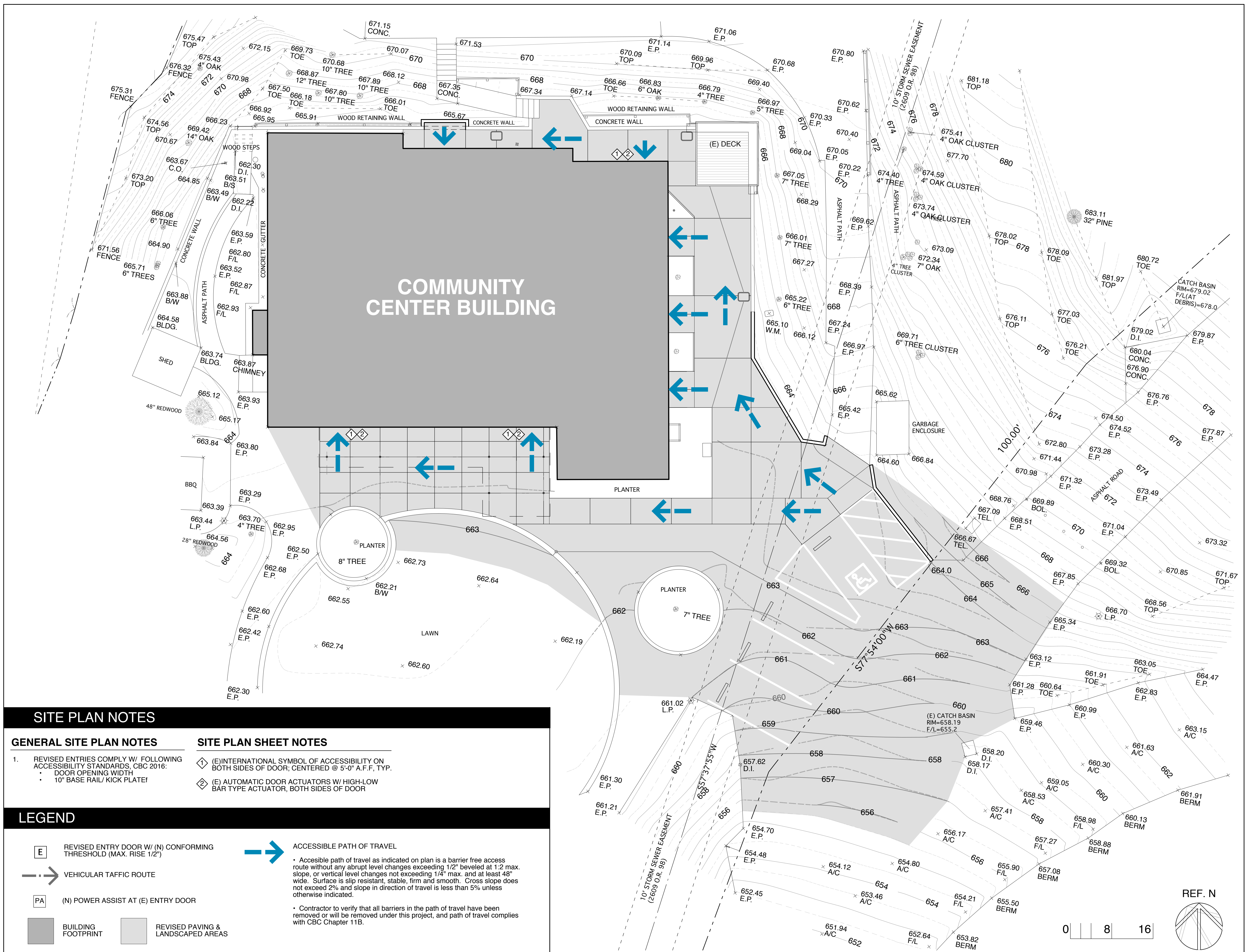
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SITE PATH OF TRAVEL PLAN

[illegible]







GENERAL NOTES

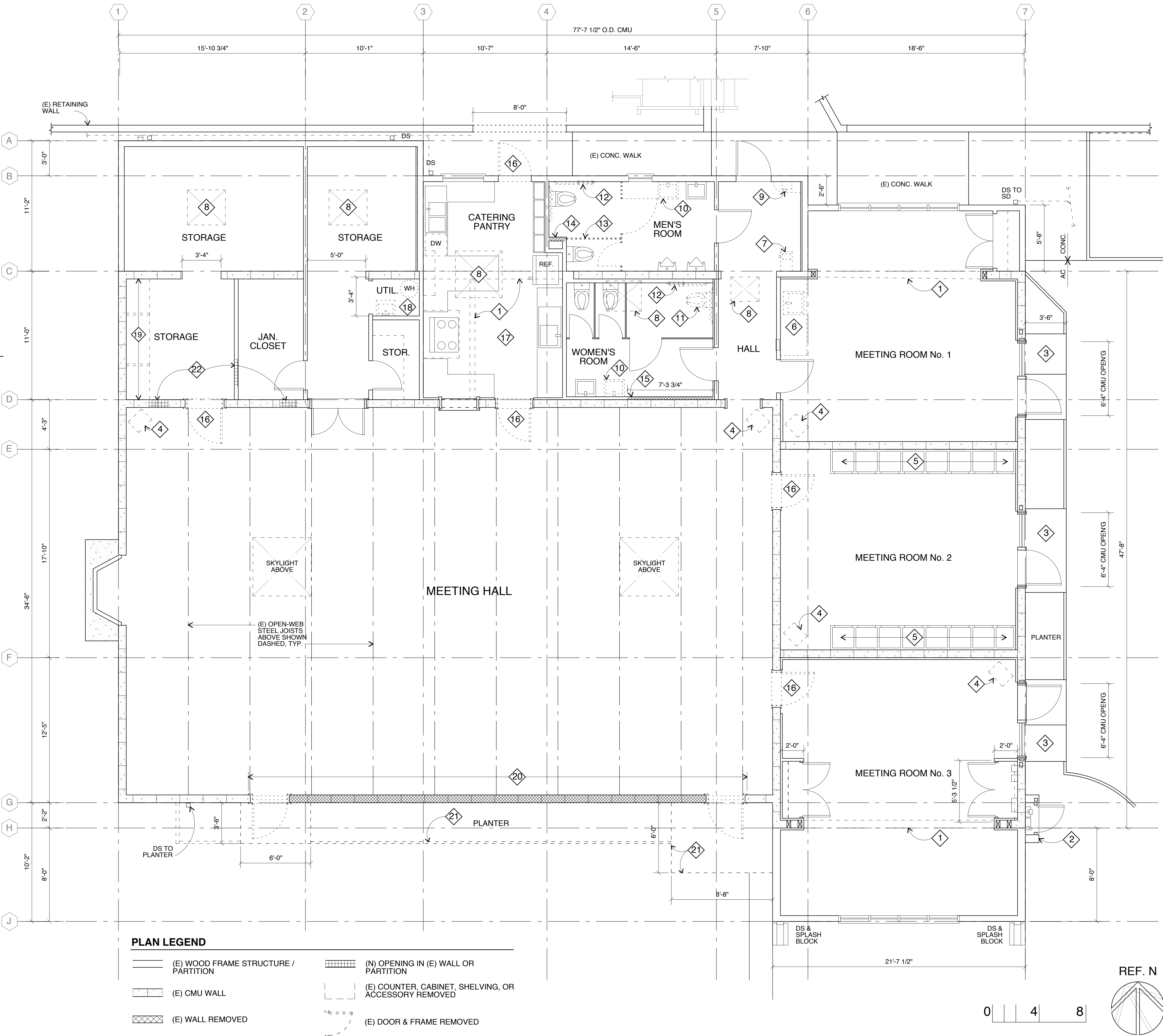
- 1) ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE 2016 C.B.C. AS ADOPTED BY THE COUNTY OF CONTRA COSTA.
- 2) THE EXISTING & DEMOLITION PLAN IS PROVIDED TO ASSIST CONTRACTOR IN IDENTIFYING LOCATION OF WORK ONLY. CONTRACTOR SHALL INCLUDE IN THE WORK ANY DEMOLITION OF EXISTING FIXTURES, FINISHES, AND EQUIPMENT NOT DESIGNATED TO REMAIN OR REQUIRED TO ALLOW COMPLETION OF THE WORK.
- 3) A HAZARDOUS MATERIALS SURVEY IS AVAILABLE FROM THE OWNER. OWNER WILL CONTRACT SEPARATELY FOR ANY REQUIRED ABATEMENT WORK. CONTRACTOR SHALL REFER TO SURVEY TO UNDERSTAND LOCATION OF AND ASSESS NECESSARY HANDLING AND ABATEMENT OF ANY HAZARDOUS MATERIALS THAT MAY BE DISTURBED AS PART OF DEMOLITION. CONTRACTOR SHALL IDENTIFY TO THE OWNER ANY REQUIRED ABATEMENT WORK NOT PREVIOUSLY COMPLETED.
- 4) SAFE-OFF AND CAP ANY ELECTRICAL WIRING AND CONDUIT REMAINING OR NOT REMOVED BY DEMOLITION.
- 5) CAP ANY PLUMBING OR SERVICE/UTILITY LINES REMAINING OR NOT REMOVED BY DEMOLITION.
- 6) SEE SHEET A4.04 FOR CONSTRUCTION PLAN
- 7) SEE SHEET A4.01 FOR REFLECTED CEILING PLAN.

KEYED NOTES

- 1 (E) BEAM ABOVE TO REMAIN.
- 2 (E) METER ENCLOSURE TO REMAIN.
- 3 (E) CONCRETE LANDING TO REMAIN.
- 4 REMOVE (E) GAS UNIT HEATER AND ALL ASSOCIATED MECHANICAL/PLUMBING AND ELECTRICAL PIPES/FITTINGS; REFER TO A1.04; SEE ALSO MECHANICAL/PLUMBING DRAWINGS AND ELECTRICAL DRAWINGS.
- 5 (E) STORAGE CABINETS TO REMAIN.
- 6 DEMO & REMOVE (E) SINK, COUNTER, CABINETS AND ASSOCIATED PLUMBING FIXTURES; REFER TO A1.04 AND SEE PLUMBING DRAWINGS.
- 7 REMOVE (E) DRINKING FOUNTAIN; REFER TO A1.04 AND ALSO SEE PLUMBING DRAWINGS.
- 8 (E) SKYLIGHT ABOVE TO REMAIN.
- 9 REMOVE (E) WALL-MOUNTED PAY PHONE AND SHELF; REFER TO A1.04.
- 10 REMOVE (E) WALL MOUNTED LAVATORY.
- 11 REMOVE (E) TOILET.
- 12 REMOVE (E) ADA ACCESSORIES.
- 13 (E) TOILET PARTITIONS TO BE REVISED. REFER TO A1.04.
- 14 (E) CHASE TO BE REVISED. REFER TO A1.04.
- 15 DEMO & REMOVE (E) FURRED WALL; REFER ALSO TO A1.04 AND STRUCTURAL DRAWINGS FOR NEW WORK; SHORE WALL, CEILING & ROOF STRUCTURE REMAINING AS REQUIRED TO INSTALL (N) WORK.
- 16 REMOVE (E) DOOR AND FRAME; DEMO/ENLARGE OPENING TO ACCOMMODATE (N) DOOR & FRAME; REFER TO A1.04; SEE STRUCT. DRAWINGS.
- 17 DEMO & REMOVE (E) COUNTERS, CABINETS & ASSOCIATED PLUMBING FIXTURES & APPLIANCES; REFER ALSO TO A1.04 & A6.02; SEE PLUMBING DRAWINGS.
- 18 DEMO & REMOVE (E) JANITOR'S SINK AND WATER HEATER. SEE PLUMBING DRAWINGS.
- 19 (E) STORAGE SHELVES ABOVE TO REMAIN.
- 20 DEMO & REMOVE (E) CMU WALL, WINDOWS AND DOORS; REFER ALSO TO A1.04, A1.05, A2.01, A5.01 AND STRUCTURAL DRAWINGS FOR NEW WORK; SHORE WALL, CEILING & ROOF STRUCTURE REMAINING AS REQUIRED TO INSTALL (N) WORK.
- 21 DEMO & REMOVE (E) CONCRETE LANDINGS AND (E) PLANTERS; REFER TO C1.02, A1.04 FOR NEW WORK.
- 22 OPENINGS IN (E) WALL TO ACCOMMODATE MECHANICAL DUCTS; REFER TO STRUCTURAL AND MECHANICAL DRAWINGS FOR EXACT LOCATIONS AND SIZES.

PLAN LEGEND

- | | | | |
|---|--------------------------------------|--|--|
|  | (E) WOOD FRAME STRUCTURE / PARTITION |  | (N) OPENING IN (E) WALL OR PARTITION |
|  | (E) CMU WALL |  | (E) COUNTER, CABINET, SHELVING, OR ACCESSORY REMOVED |
|  | (E) WALL REMOVED |  | (E) DOOR & FRAME REMOVED |



Seismic Upgrades and Building Alterations

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EXISTING & DEMOLITION PLAN

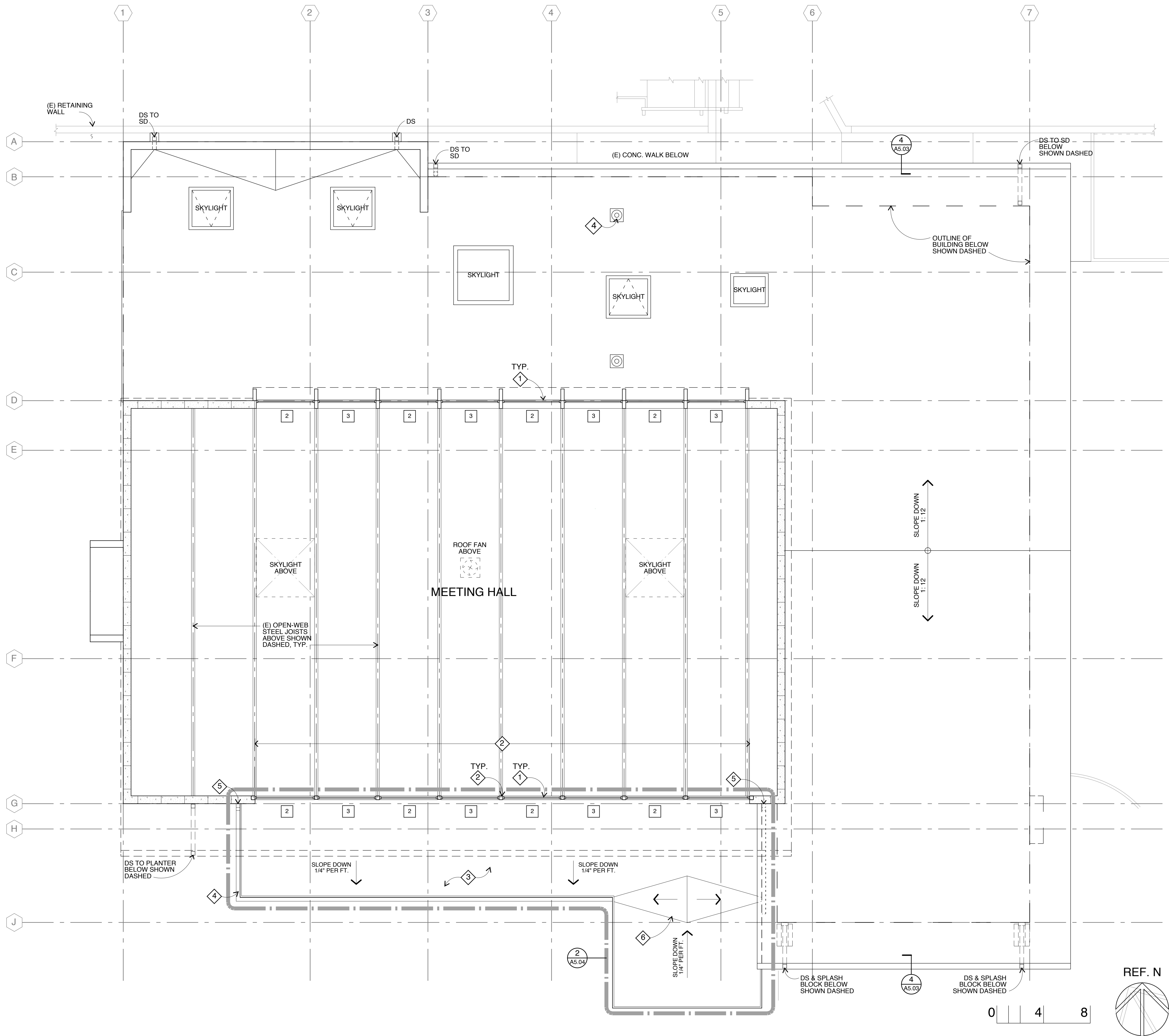
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A1.01

- 1) ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE 2016 C.B.C. AS ADOPTED BY THE COUNTY OF CONTRA COSTA.
- 2) ALL DIMENSIONS TO FINISH FACE UNLESS OTHERWISE NOTED.
- 3) REFER TO SHEETS IN A8 SERIES FOR ADD ALTERNATIVES TO INCLUDE IN BID.
- 4) A HAZARDOUS MATERIALS SURVEY IS AVAILABLE FROM THE OWNER. OWNER WILL CONTRACT SEPARATELY FOR ANY REQUIRED ABATEMENT WORK. CONTRACTOR SHALL REFER TO SURVEY TO UNDERSTAND LOCATION OF AND ASSES NECESSARY HANDLING AND ABATEMENT OF ANY HAZARDOUS MATERIALS THAT MAY BE DISTURBED AS PART OF DEMOLITION. CONTRACTOR SHALL IDENTIFY TO THE OWNER ANY REQUIRED ABATEMENT WORK NOT PREVIOUSLY COMPLETED.

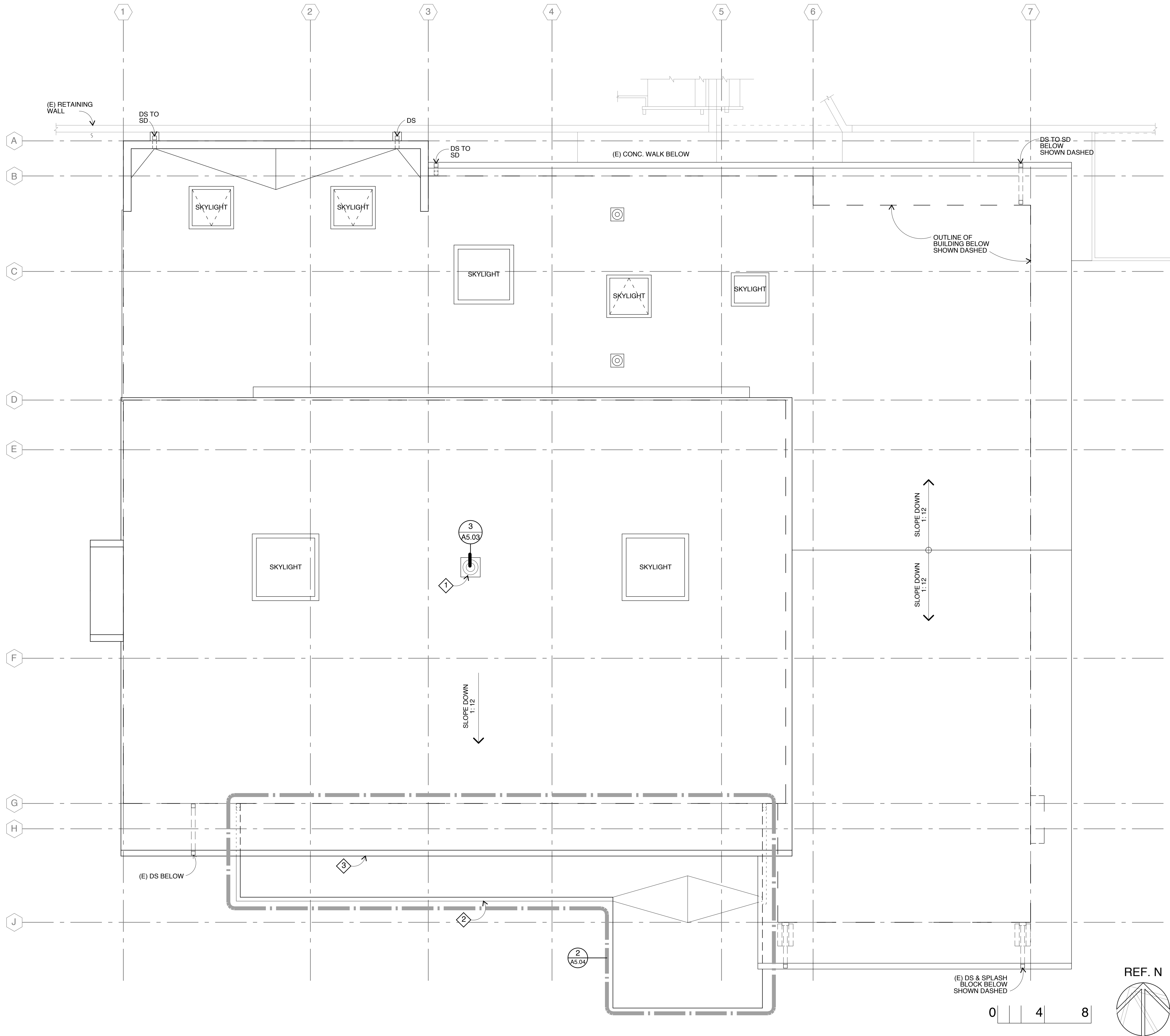
1	(N) CLERESTORY WINDOWS
2	(N) TS FRAME; SEE STRUCTURAL DRAWINGS
3	(N) CANOPY ROOF BELOW, REFER TO A5.04 FOR CANOPY ROOF PLAN
4	(N) EXHAUST FAN; SEE MECH/PLUMB DRAWINGS



A1.05

- 1) ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE 2016 C.B.C. AS ADOPTED BY THE COUNTY OF CONTRA COSTA.
- 2) ALL DIMENSIONS TO FINISH FACE UNLESS OTHERWISE NOTED.
- 3) REFER TO SHEETS IN A8 SERIES FOR ADD ALTERNATIVES TO INCLUDE IN BID.
- 4) A HAZARDOUS MATERIALS SURVEY IS AVAILABLE FROM THE OWNER. OWNER WILL CONDUCT SURVEY FOR ANY REQUIRED ABATEMENT WORK. CONTRACTOR SHALL REFER TO SURVEY TO UNDERSTAND LOCATION OF AND ASSESS NECESSARY HANDLING AND ABATEMENT OF ANY HAZARDOUS MATERIALS THAT MAY BE DISTURBED AS PART OF DEMOLITION. CONTRACTOR SHALL IDENTIFY TO THE OWNER ANY REQUIRED ABATEMENT WORK NOT PREVIOUSLY COMPLETED.
- 5) REFER TO SHEET A5.04 FOR ADDITIONAL CANOPY ROOF INFORMATION.

1 (N) ROOF FAN
2 (N) CANOPY / COVER BELOW
3 (N) GUTTER



Date	03/30/18	Sheet	
Scale	1/4" = 1'-0"	A1.06	
Drawn	FD		
Job			

Kensington Community Center

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Community Services District

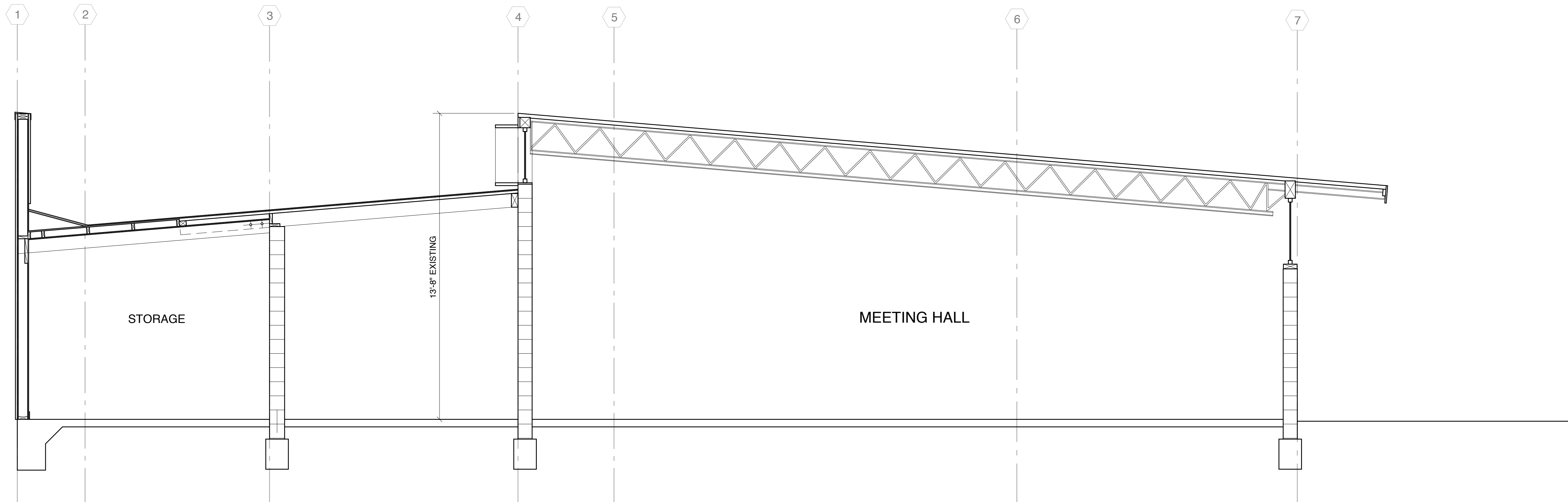
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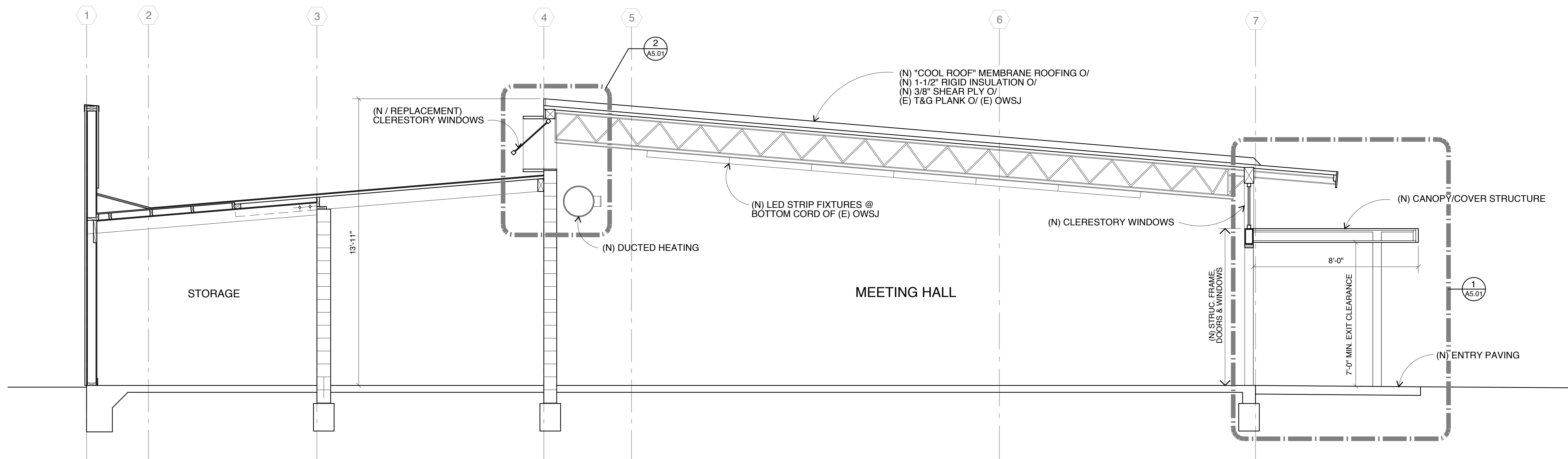
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Existing Section at Meeting Hall

$$3/8'' = 1'-0''$$


1
A2.01





Revised Section at Meeting Hall

$$3/8'' = 1'-0''$$


2
A2.01

BUILDING SECTIONS

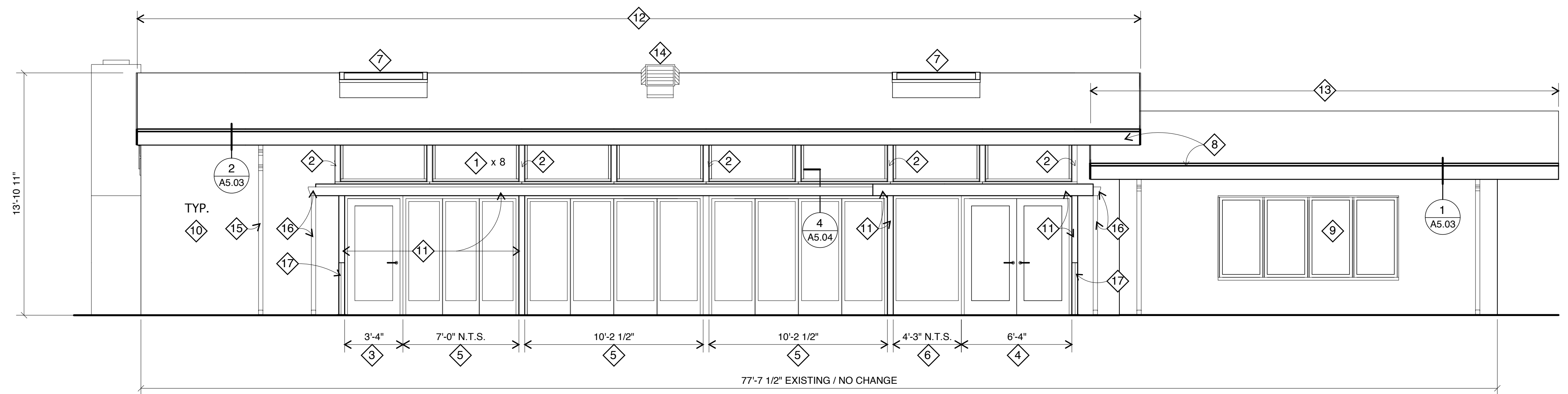
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 4-16-18 Issue for Permit	WG		

Date	03/30/18	Sheet
Scale	3/8" = 1'-0"	A2.01
Drawn	ESG	
Job		

A2.01

- 1 (N) DOUBLE-PANE TEMPERED CLERESTORY WINDOWS
- 2 (N) TS FRAME; SEE STRUCTURAL DRAWINGS
- 3 (N) EXIT DOOR W/ PANIC HARDWARE AND ADA SELF-CLOSER & BAR-TYPE ACTUATORS @ INSIDE & OUTSIDE
- 4 (N) ALUM. WDO WALL FRAME W/ PR. EXIT DOORS W/ PANIC HARDWARE & (N) ADA POWER ASSIST. AUTOMATIC DOOR OPENER W/ BAR-TYPE ACTUATORS @ INSIDE & OUTSIDE
- 5 (N) ALUM. WDO WALL FRAME W/ FOLDING GLASS DOORS
- 6 (N) ALUM. WDO WALL FRAME W/ FIXED GLASS
- 7 (E) SKYLIGHT TO REMAIN
- 8 (E) FASCIA AND GUTTER, (N) PAINT
- 9 (E) WINDOW, (N) PAINT AT FRAMES & TRIM
- 10 (N) PAINT @ ALL EXTERIOR WALLS
- 11 (N) CANOPY STRUCTURE & PAINTED 4" DIA. STEEL PIPE COLUMN; SEE STRUCTURAL DRAWINGS
- 12 (N) ROOFING MEMBRANE O/ (N) RIGID INSULATION O/ (N) SHEAR PLWYD.; SEE EXTERIOR DETAILS & STRUCTURAL DRAWINGS
- 13 (E) ROOF TO REMAIN
- 14 (N) EXHAUST FAN, SEE MECHANICAL DWG'S.
- 15 (E) DOWNSPOUT TO REMAIN
- 16 (N) GUTTER & DOWNSPOUT
- 17 (N) BAR-TYPE ACTUATOR, SEE NOTE 4



Exterior Elevation - South

$$1/4'' = 1'-0''$$

0			4	8
---	--	--	---	---

1
A3.01

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EXTERIOR ELEVATIONS - SOUTH WALL

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Date 02/23/18 Sheet

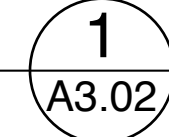
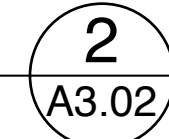
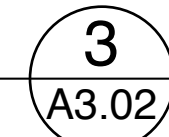
Scale 1/4" = 1'-0"

Drawn

Job

A3.01

- 1 (N) DOUBLE-PANE TEMPERED CLERESTORY WINDOWS
- 2 (E) SKYLIGHT TO REMAIN
- 3 (N) ROOF FASCIA, (N) PAINT
- 4 (E) WINDOW, (N) PAINT AT FRAMES & TRIM
- 5 (E) DOOR/WINDOW ASSEMBLY, (N) PAINT
- 6 (N) PAINT @ ALL EXTERIOR WALLS
- 7 (N) CANOPY & COLUMN(S) BEYOND; SEE STRUCTURAL DRAWINGS
- 8 (N) ADA POWER-ASSIST AUTOMATIC DOOR OPENER W/ BAR-TYPE ACTUATORS @ INSIDE & OUTSIDE
- 9 (N) 36" x 80" DOOR W/ VISION PANEL; REVERSE (E) SWING
- 10 (E) DOORS, SIDELITES & TRANSOM TO REMAIN; (N) PAINT AT FRAMES & TRIM
- 11 (N) SHEAR PLWYD, & (N) ROOF; SEE STRUCTURAL DRAWINGS
- 12 BAR ACTUATOR MONUMENT


$$1/4'' = 1'-0''$$

$$1/4'' = 1'-0''$$

$$1/4'' = 1'-0''$$


Date	02/23/18	Sheet	
Scale	1/4" = 1'-0"	A3.02	
Drawn	FD		
Job			

A3.02